

Landlord Scope Renovations
at:
5245 Commonwealth Ave.

Jacksonville, Florida 32254

for:



Architectural Services:
Michael Blake Architects LLC
904 Margaret Street, Suite 101
Jacksonville, Florida 32204
904.708.0826
M. Blake, Reg. No. AR 96125

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29 May 2025

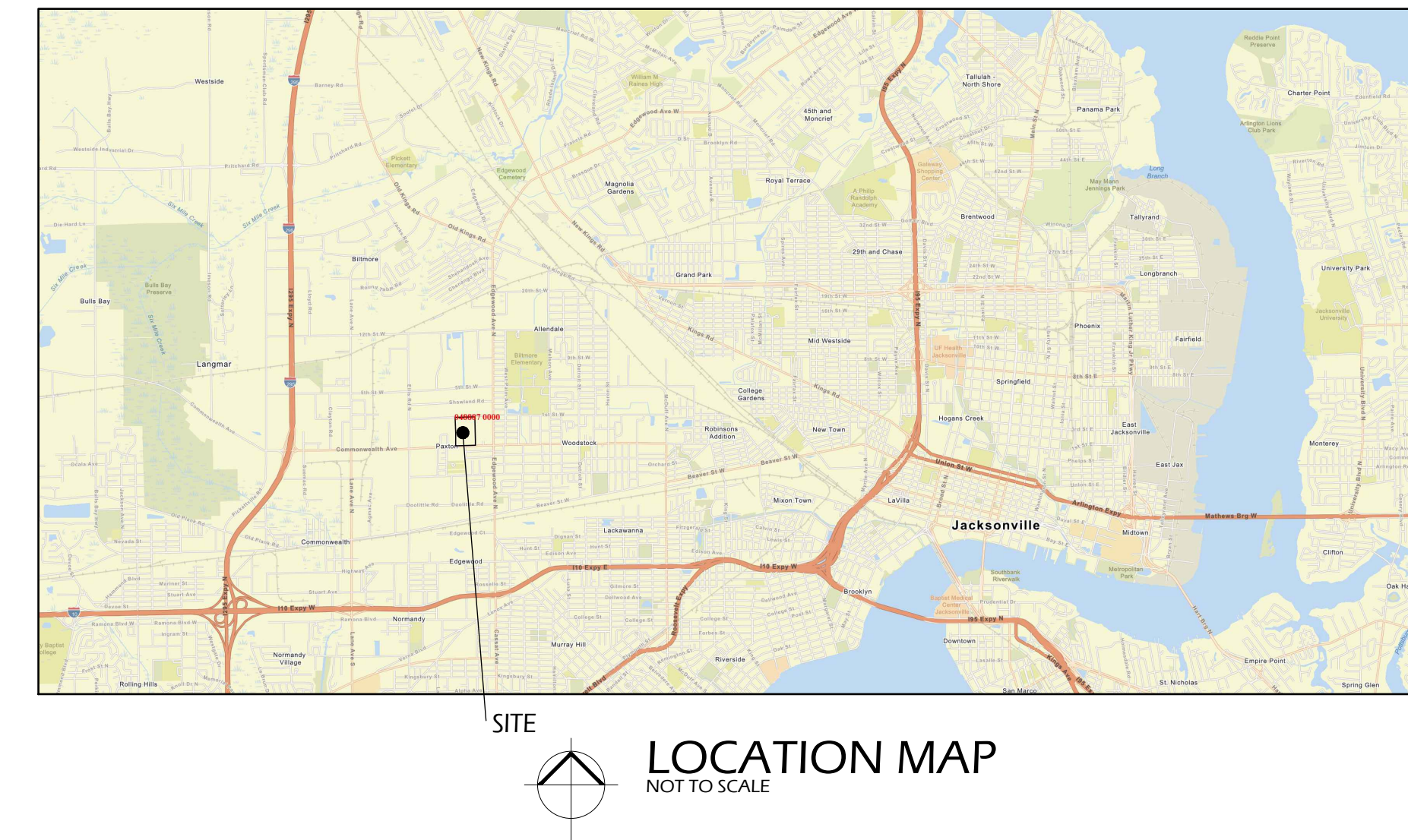
LIST OF DRAWINGS

ARCHITECTURAL
COVER

- LS1 LIFE SAFETY PLAN
- D1 DEMOLITION PLAN
- A1 FLOOR PLAN
- A2 ROOF PLAN & DETAILS
- A3 SECTIONS, SCHEDULES, & DETAILS

STRUCTURAL

- S000 LEGENDS & SYMBOLS
- S001 GENERAL NOTES
- S100 PARTIAL EXISTING AND NEW FOUNDATION PLAN
- S101 PARTIAL EXISTING AND NEW SLAB-ON-GROUND PLAN
- S102 PARTIAL EXISTING AND NEW NEW ROOF FRAMING PLAN
- S200 TYPICAL DETAILS
- S201 TYPICAL DETAILS
- S300 SECTIONS AND DETAILS
- S301 SECTIONS AND DETAILS
- S302 SECTIONS AND DETAILS



AERIAL MAP
NOT TO SCALE

MATERIAL LEGEND

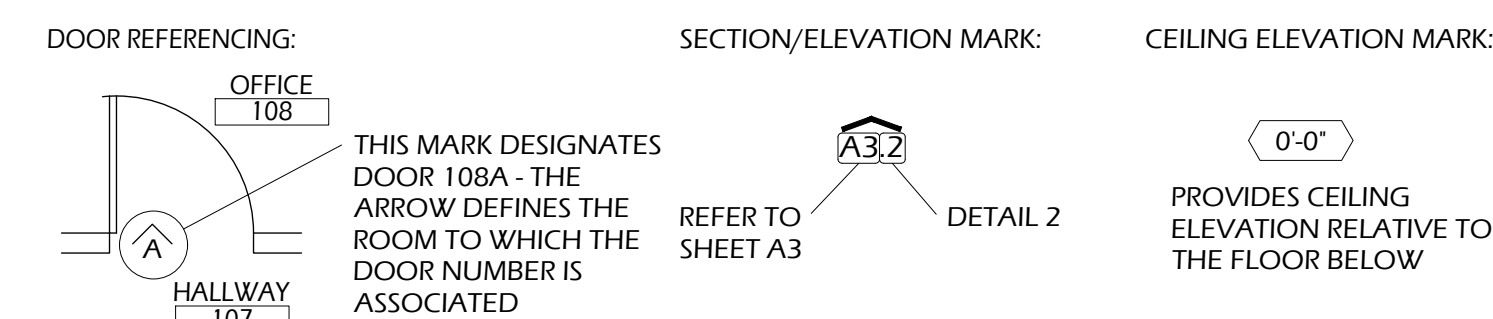
	CONCRETE		WOOD BLOCKING (CONTINUOUS)
	EARTH		WOOD BLOCKING (DISCONTINUOUS)
	PAINTED GWB (IN ELEVATION AND RCP)		WOOD SHEATHING
			FINISHED WOOD TRIM
			RIGID OR FOAM INSULATION
			BATT INSULATION
			CMU (IN PLAN)

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR (MEASURED FROM THE TOP OF THE SLAB)	H.M.	HOLLOW METAL
A.H.J.	AUTHORITY HAVING JURISDICTION	MFR.	MANUFACTURER
B.O.	BY OWNER	M.E.P.	MECHANICAL, ELECTRICAL, PLUMBING
C.I.P.	CAST IN PLACE	M.O.	MASONRY OPENING
CL.R.	CLEAR	N.A.	NOT APPLICABLE
CMU	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
CONT.	CONTINUOUS	NOM.	NOMINAL
C. J.	CONTROL JOINT	O.H.	OPPOSITE HAND
E.T.R.	EXISTING TO REMAIN	P.E.M.B.	PRE-ENGINEERED METAL BUILDING
E.W.C.	ELECTRIC WATER COOLER	P.T.	PRESSURE TREATED
F.B.C.	FLORIDA BUILDING CODE	R.C.P.	REFLECTED CEILING PLAN
F.D.	FLOOR DRAIN	R.O.	ROUGH OPENING
F.E.	FIRE EXTINGUISHER	SIM.	SIMILAR
F.E.C.	FIRE EXTINGUISHER CABINET	T.O.M.	TOP OF MASONRY
F.T.F.	FINISH TO FINISH (DIMENSIONING)	T.O.S.	TOP OF STEEL
F.V.	FIELD VERIFY	T.O. SLAB TOP OF SLAB	
G.C.	GENERAL CONTRACTOR	U.N.O.	UNLESS NOTED OTHERWISE
G.W.B.	GYPSUM WALLBOARD	W.P.	WORKING POINT
		V.W.C.	VINYL WALLCOVERING

NOTE: WOOD FRAMING AND TRIM IS TYPICALLY DIMENSIONED USING NOMINAL DIMENSIONS. FOR EXAMPLE, 2 x 4 FRAMING IS 1.5" x 3.5". WHEN ACTUAL DIMENSIONS OF WOOD ARE REQUIRED, THIS IS NOTED WITH ". FOR EXAMPLE, 1" x 2.5" TRIM IS ACTUALLY 1" x 2.5".

DRAWING CONVENTIONS



PROJECT DATA AND BUILDING CODE SUMMARY

PROJECT DESCRIPTION:

THIS IS AN EXISTING WAREHOUSE BUILDING WITH CONCRETE WALL PANELS AND STEEL COLUMNS SUPPORTING STEEL JOISTS AND ROOF DECK. THIS WAREHOUSE FORMERLY HAD A RAILROAD LINE THAT DELIVERED TO WAREHOUSE DOORS ALONG THE WEST SIDE OF THIS BUILDING. THIS RAILROAD LINES IS OUT OF SERVICE. ALSO, THE BUILDING WAS PREVIOUSLY OCCUPIED BY A SINGLE TENANT. THE OWNERS PLAN TO PREPARE THE BUILDING FOR MULTIPLE SMALLER TENANT SUITES. THIS AREA WHERE THE BUILDING FOOTPRINT CHANGES DIRECTION DOES NOT HAVE ACCESS TO ADEQUATE NUMBER OF OVER-HEAD DOORS FOR A TENANT. THIS PROJECTS IS TO CREATE A TRUCK COURT WITH NEW OVER-HEAD DOORS AND A DOCK EXTENSION AT A PORTION OF THE FORMER RAILROAD LINE FOR ACCESS TO THE WAREHOUSE. THE BUILDING WILL NOT BE OCCUPIED AT THE COMPLETION OF THIS PROJECT. FUTURE TENANT IMPROVEMENTS WILL BE PERMITTED SEPARATELY. SITE IMPROVEMENTS ARE SUBMITTED CONCURRENTLY.

REFER TO THE LIFE SAFETY PLAN ON FOR ADDITIONAL INFORMATION.

GOVERNING BUILDING CODE:	FLORIDA BUILDING CODE, 8TH EDITION (2023) - BUILDING FLORIDA BUILDING CODE, 8TH EDITION (2023) - RESIDENTIAL FLORIDA BUILDING CODE, 8TH EDITION (2023) - EXISTING BUILDING FLORIDA BUILDING CODE, 8TH EDITION (2023) - PLUMBING FLORIDA BUILDING CODE, 8TH EDITION (2023) - MECHANICAL FLORIDA BUILDING CODE, 8TH EDITION (2023) - ENERGY CONSERVATION FLORIDA BUILDING CODE, 8TH EDITION (2023) - FUEL - GAS FLORIDA FIRE PREVENTION CODE, 8TH EDITION (2023) NFPA 70 - 2020 NATIONAL ELECTRIC CODE
OCCUPANCY:	FBC - MIXED WITH STORAGE S-2 AS PRIMARY OCCUPANCY & ACCESSORY BUSINESS USE NFPA 101 - STORAGE
AREAS (SF):	
TOTAL BUILDING	523,347 SF
AREA OF WORK	10,142 SF
FIRE PROTECTION SYSTEM:	FULLY SPRINKLERED
NUMBER OF STORIES:	1

FIRE RATINGS PER TABLE 601 - CONSTRUCTION TYPE III-B:

PRIMARY STRUCTURAL FRAME	0 HR.
BEARING WALLS	
EXTERIOR	0 HR.
INTERIOR	0 HR.
NON-BEARING WALLS AND PARTITIONS	0 HR.
EXTERIOR WALLS PER TABLE 602 (WHERE SEPARATION IS GREATER THAN 5', LESS THAN 10')	0 HR.
INTERIOR	0 HR.
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HR.
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HR.

FLORIDA BUILDING CODE (EIGHTH EDITION) SUMMARY:

- REFER TO THE PROJECT DESCRIPTION ON THE COVER SHEET FOR SUMMARY AND CONSTRUCTION TYPE.
- OCCUPANCY: STORAGE GROUP S-1
- FUTURE CORNER SUITE OCCUPANT LOAD CALCULATION:
STORAGE: 116,149 SF AT 1:500 GROSS 233 OCCUPANTS
- THIS BUILDING HAS A SPRINKLER SYSTEM AND FIRE ALARM.
- MAX TRAVEL DISTANCE TO EXIT - 400 FT. FOR STORAGE (FBC TABLE 1017.2)
- MAX COMMON PATH OF EGRESS TRAVEL DISTANCE - 100 FT. FOR STORAGE (FBC TABLE 1006.2.1)
- MAX DEAD END CORRIDOR LENGTH - 50 FT. FOR STORAGE (FBC 1020.4, EXCEPTION 2)

MEANS OF EGRESS COMPONENTS:

EGRESS CAPACITY LEVEL COMPONENTS: 233 OCCUPANTS x .2' = 46.6' REQUIRED AND PROVIDED
EGRESS CAPACITY STAIRWAYS: 233 OCCUPANTS x .3' = 69.9' REQUIRED AND PROVIDED

NFPA 101 - FLORIDA FIRE PREVENTION CODE (EIGHTH EDITION) SUMMARY:

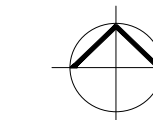
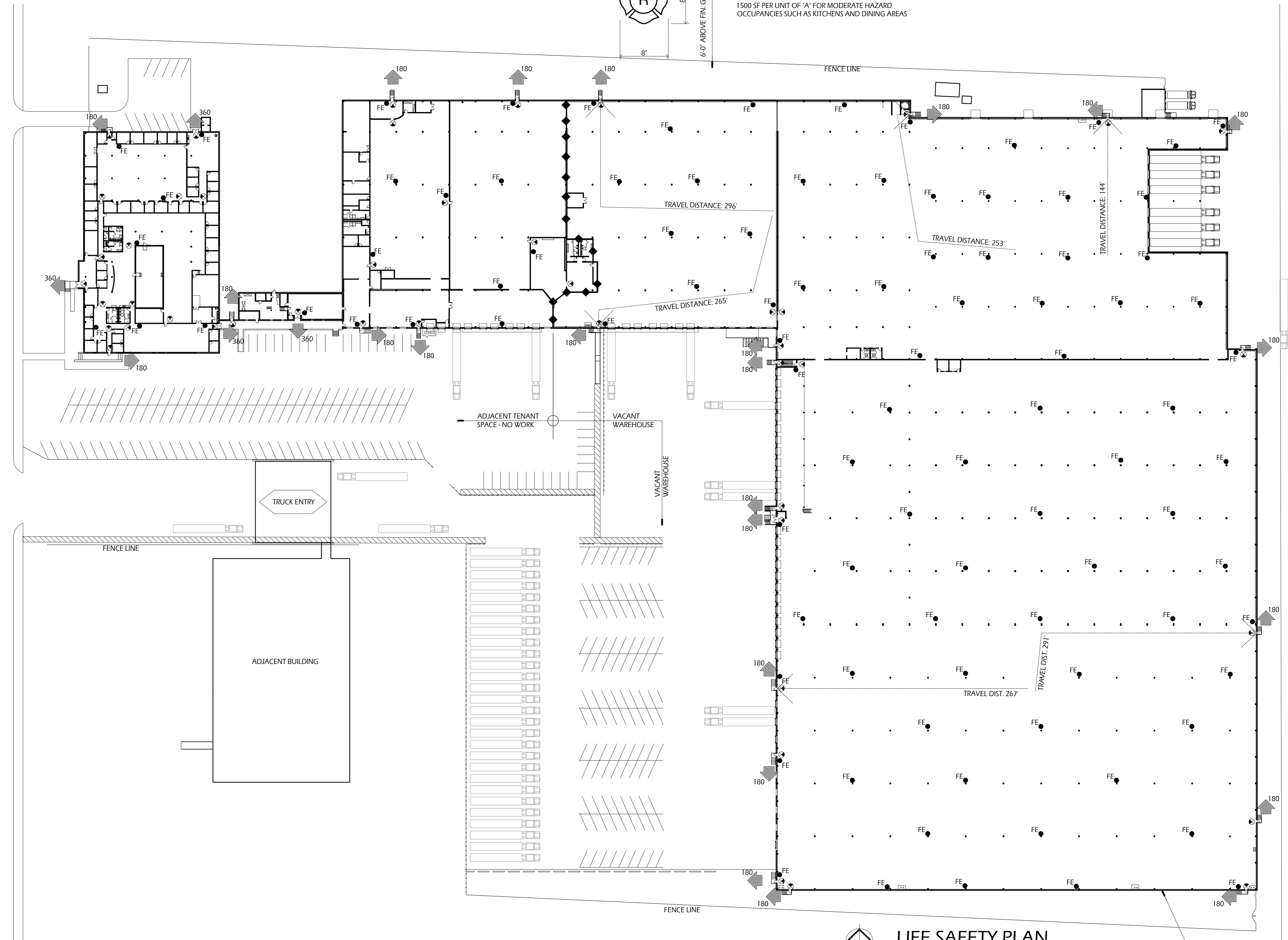
- REFER TO THE PROJECT DESCRIPTION ON THE COVER SHEET FOR SUMMARY AND CONSTRUCTION TYPE.
- OCCUPANCY: STORAGE, LOW AND ORDINARY HAZARD
- FUTURE CORNER SUITE OCCUPANT LOAD CALCULATION:
STORAGE: 116,149 SF AT 1:500 GROSS 233 OCCUPANTS
- THIS BUILDING HAS A SPRINKLER SYSTEM AND FIRE ALARM.
- FIRE EXTINGUISHERS (TYPE A HAZARD) SHALL BE 3A-40BC MULTI-PURPOSE DRY CHEMICAL EQUAL TO JL INDUSTRIES. FUTURE KITCHEN SHALL HAVE TYPE 'K' EXTINGUISHER. EXTINGUISHERS SHALL BE MOUNTED ON SURFACE MOUNTED BRACKETS.
A. MAXIMUM FLOOR AREA PER UNIT OF 'A' IS 3,000 SF
B. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER IS 75'
- INSTALL TACTILE SIGNAGE AT EACH EXIT DOOR READING 'EXIT' AND IN COMPLIANCE WITH N.F.P.A. 101, 7.10.1.3.
- ALL AREAS SHALL BE FULLY SPRINKLERED.
- INSTALL SYMBOL INDICATING LIGHT-FRAME TRUSS-TYPE ROOF CONSTRUCTION IN ACCORDANCE WITH FAC 69A-60.0081. SIGN SHALL BE MARKED WITH A MALTESE CROSS MEASURING 8' x 8', OF A BRIGHT RED REFLECTIVE COLOR, INSTALLED WITHIN 24' TO THE LEFT OF ALL MAIN ENTRY DOORS AND BE PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE ON A CONTRASTING BACKGROUND OR BE MOUNTED ON A CONTRASTING BASE MATERIAL WHICH IS THEN PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE AS SHOWN BELOW.

NOTE:
3,000 SF PER UNIT OF 'A' FOR LOW HAZARD OCCUPANCY SUCH AS OFFICES.
1,500 SF PER UNIT OF 'A' FOR MODERATE HAZARD OCCUPANCIES SUCH AS KITCHENS AND DINING AREAS

STORAGE:

COMMON PATH OF TRAVEL:
DEAD END CORRIDOR:
TRAVEL DISTANCE:
INTERIOR WALL & CEILING FINISHES:
IN EXITS & EXIT ACCESS CORRIDORS - CLASS A OR B
STORAGE AREAS - CLASS A, B, OR C
INTERIOR FLOOR FINISH AT EXIT ENCLOSURES & EXIT ACCESS CORRIDORS - CLASS I OR II, OTHER AREAS NOT REQUIRED TO COMPLY WITH 10.2.7 NFPA 101 42.3.3.2

100' NFPA 101 TABLE 42.2.5
100' NFPA 101 TABLE 42.2.5
400' NFPA 101 TABLE 42.2.6
NFPA 101 42.3.3.2



LIFE SAFETY PLAN
1" = 60'-0"

LIFE SAFETY LEGEND:

- EXIT LIGHT
- FE ● FIRE EXTINGUISHER
- 180 ▲ OCCUPANT CAPACITY

RATED WALL LEGEND

- ◆ 1 HOUR

EXISTING CONCRETE WALL PANELS - TYPICAL AT EXTERIOR WALLS

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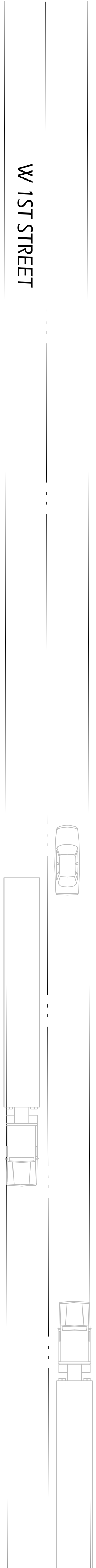
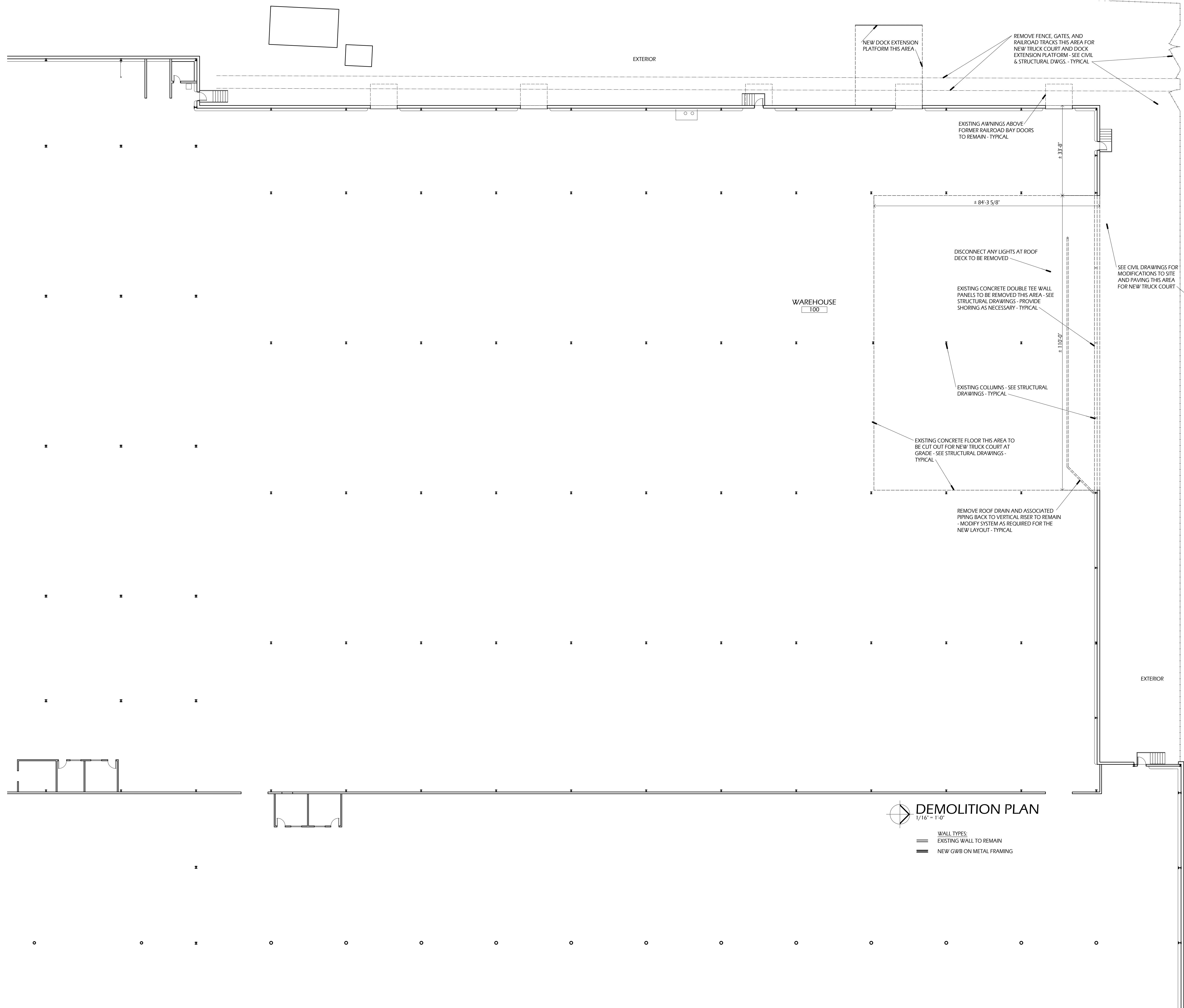
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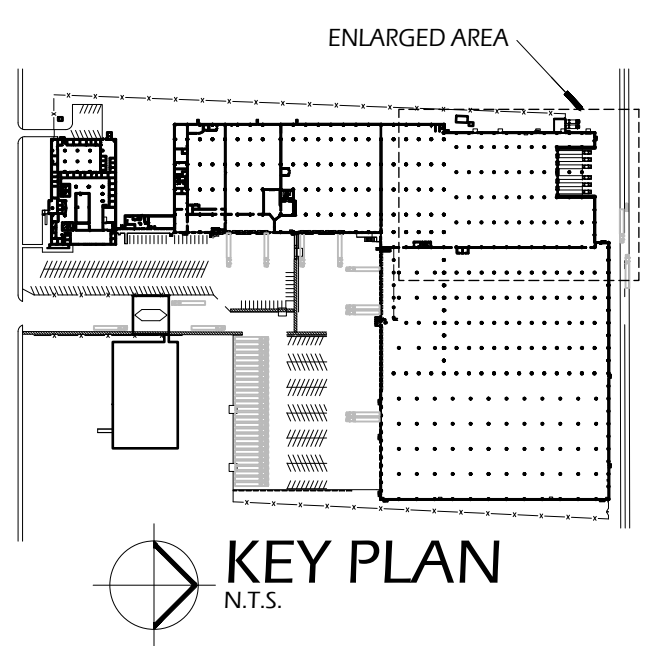
Revisions:
8.28.2025 PLAN REVIEW RESPONSE

Date: 5.29.2025
File:

LIFE SAFETY PLAN
LS1



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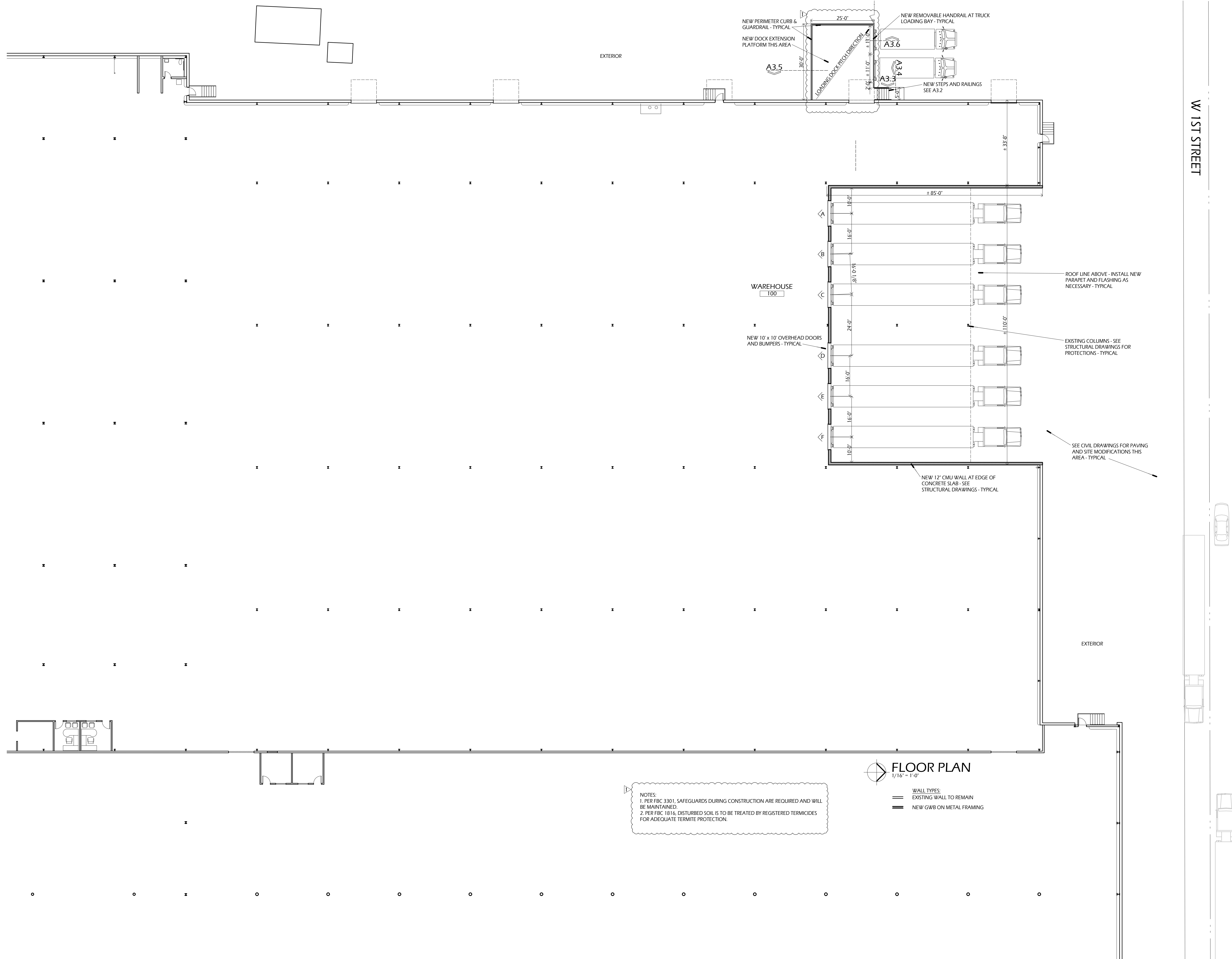


DEMOLITION PLAN
 1/16" = 1'-0"
 WALL TYPES:
 ——— EXISTING WALL TO REMAIN
 ——— NEW GWB ON METAL FRAMING

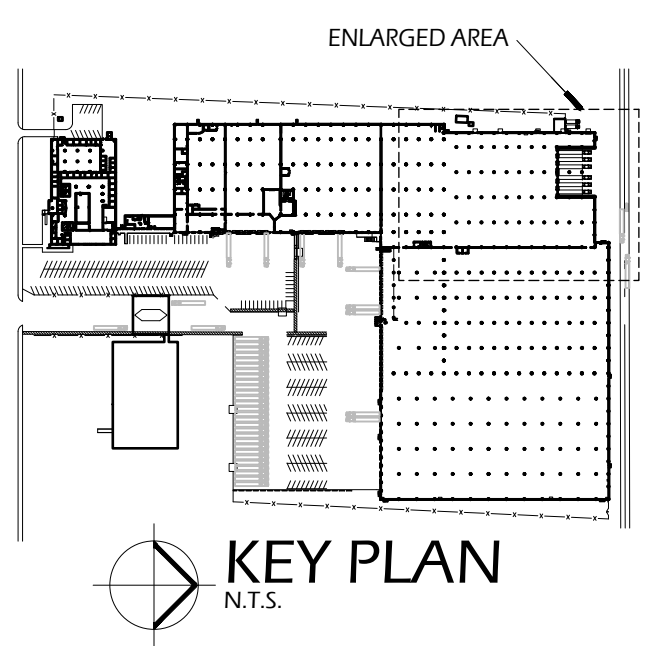
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 DEMOLITION PLAN

D1



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W 1ST STREET

NEW PERIMETER CURB & GUARDRAIL - TYPICAL
NEW DOCK EXTENSION PLATFORM THIS AREA
A3.5
25'-0"
NEW REMOVABLE HANDRAIL AT TRUCK LOADING BAY - TYPICAL
A3.6
NEW STEPS AND RAILINGS SEE A3.2
A3.4
A3.3

WAREHOUSE 100
NEW 10' x 10' OVERHEAD DOORS AND BUMPERS - TYPICAL
NEW 12" CMU WALL AT EDGE OF CONCRETE SLAB - SEE STRUCTURAL DRAWINGS - TYPICAL
ROOF LINE ABOVE - INSTALL NEW PARAPET AND FLASHING AS NECESSARY - TYPICAL
EXISTING COLUMNS - SEE STRUCTURAL DRAWINGS FOR PROTECTIONS - TYPICAL
SEE CIVIL DRAWINGS FOR PAVING AND SITE MODIFICATIONS THIS AREA - TYPICAL

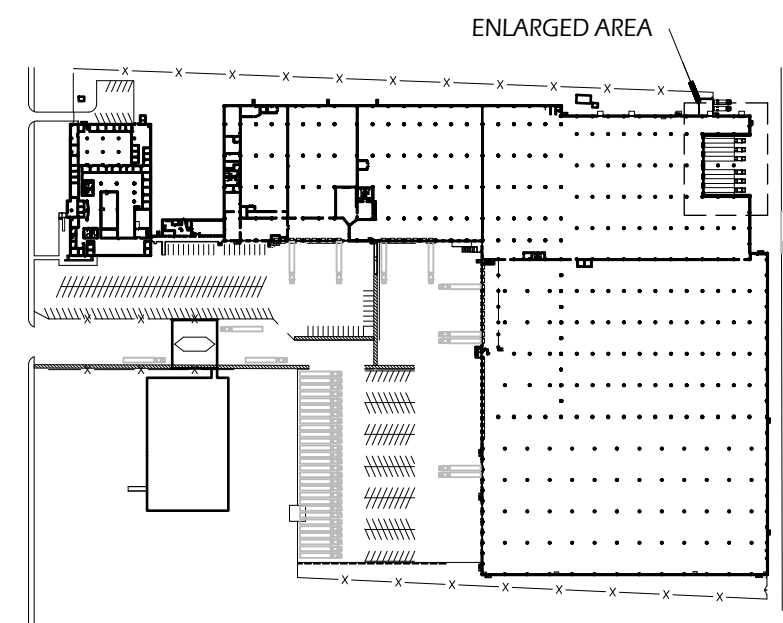
FLOOR PLAN
1/16" = 1'-0"

WALL TYPES:
= EXISTING WALL TO REMAIN
= NEW GWB ON METAL FRAMING

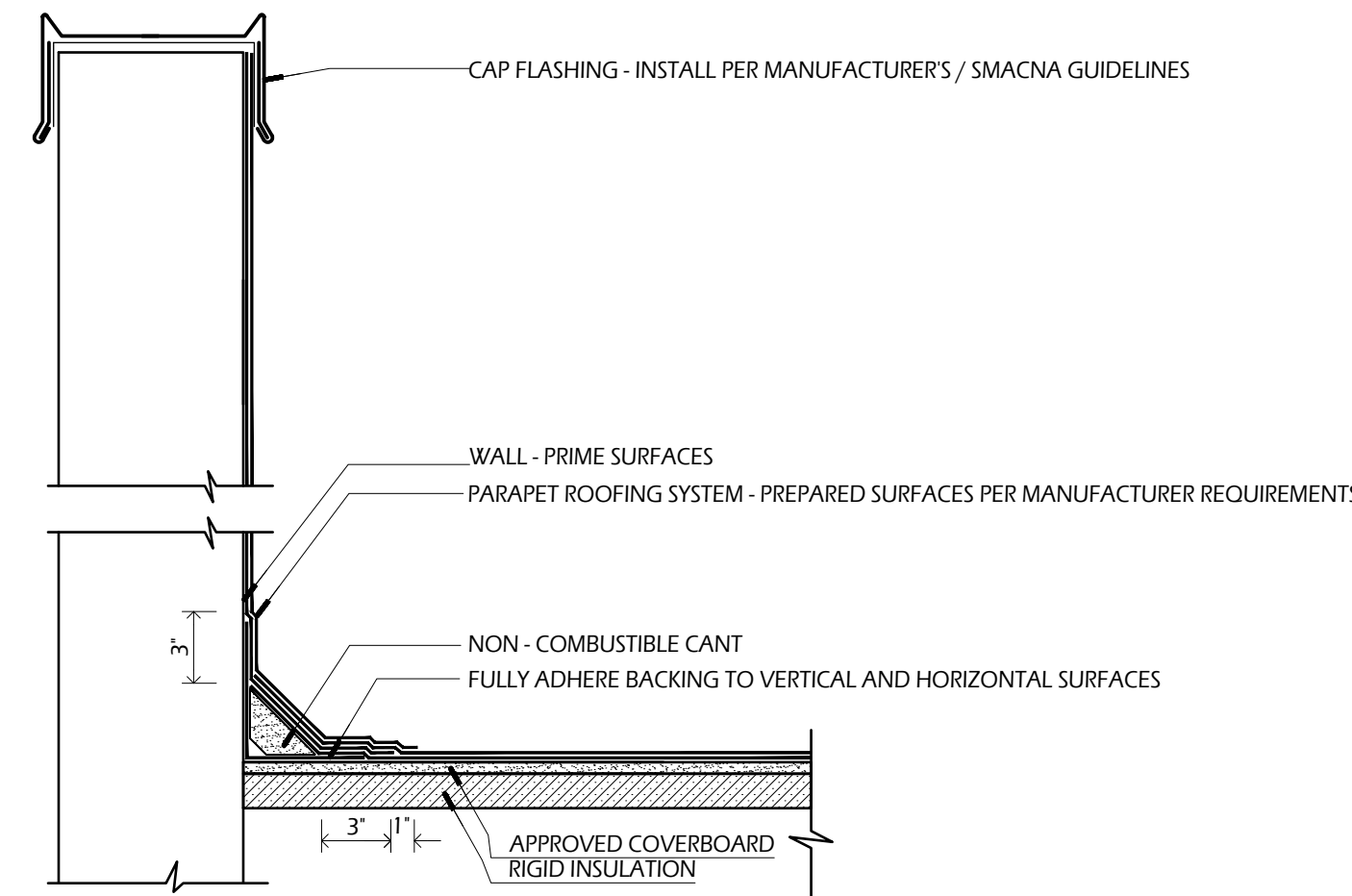
NOTES:
1. PER FBC 3301, SAFEGUARDS DURING CONSTRUCTION ARE REQUIRED AND WILL BE MAINTAINED.
2. PER FBC 1316, DISTURBED SOIL IS TO BE TREATED BY REGISTERED TERMITICIDES FOR ADEQUATE TERMITE PROTECTION.

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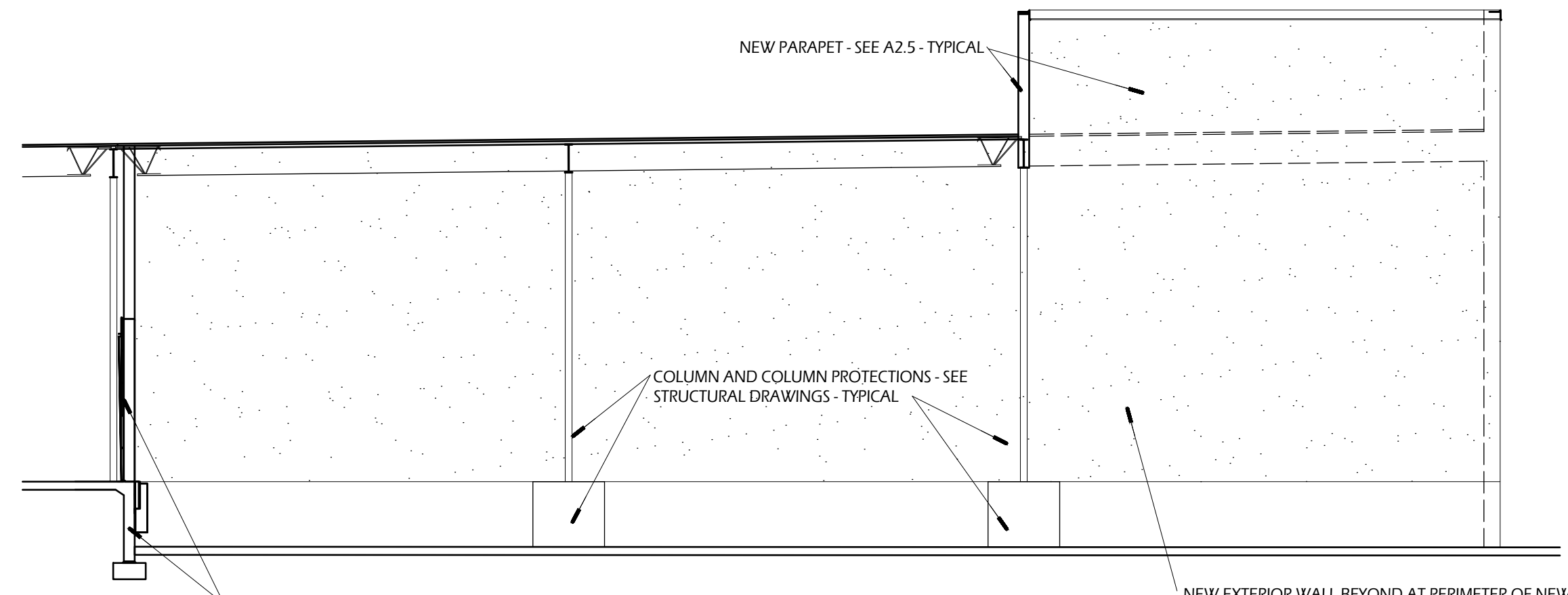
Date: 5.29.2025
File: 5245 COMMONWEALTH
FLOOR PLAN



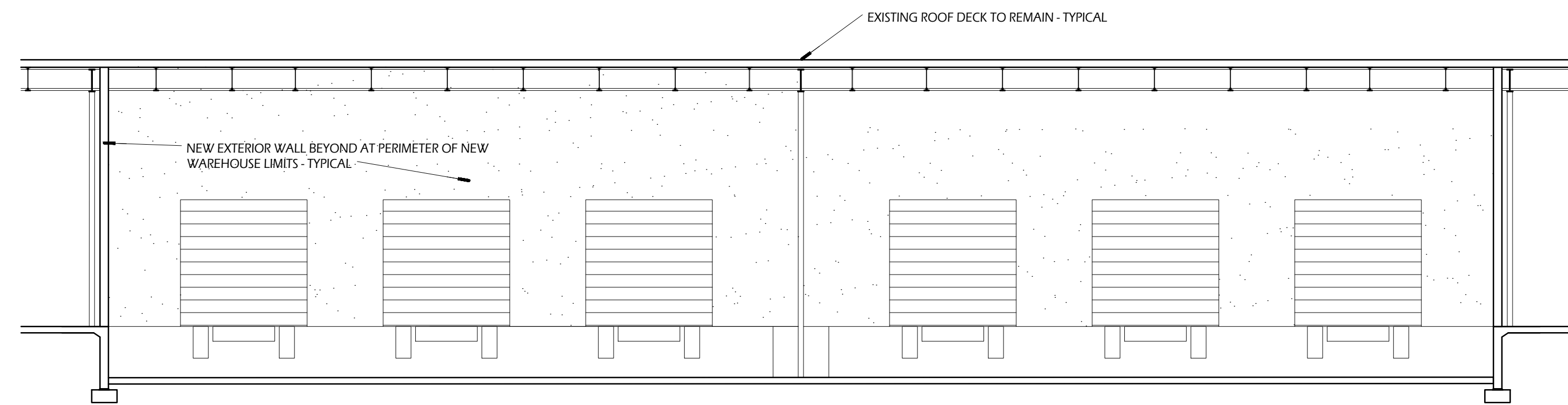
KEY PLAN
N.T.S.



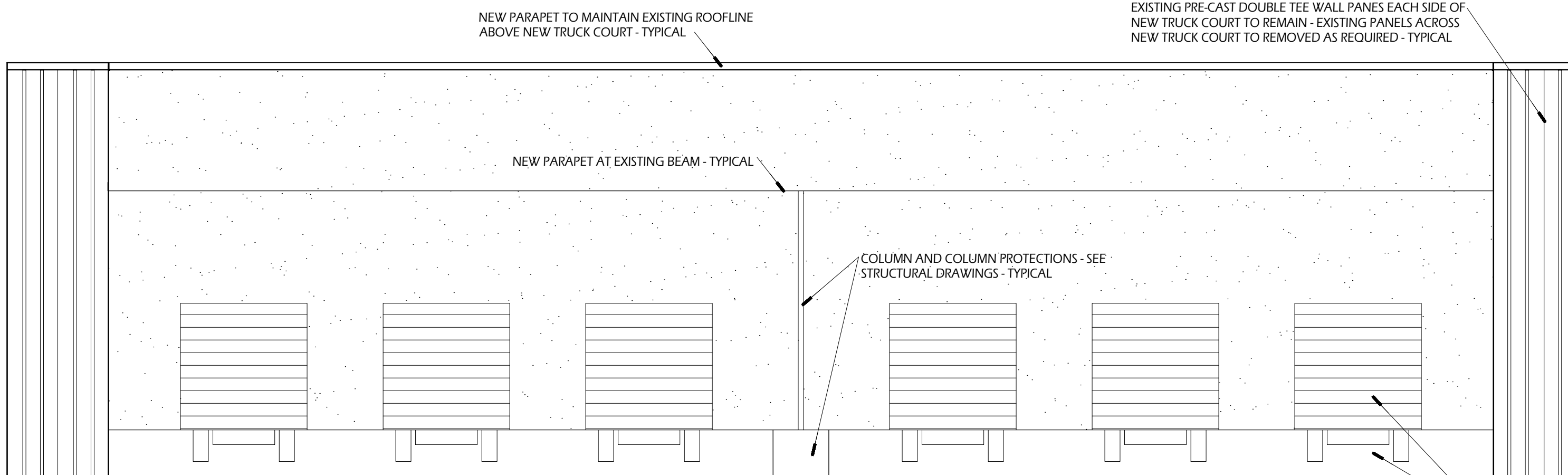
A2.4 PARAPET SECTION
1 1/2"=1'-0"



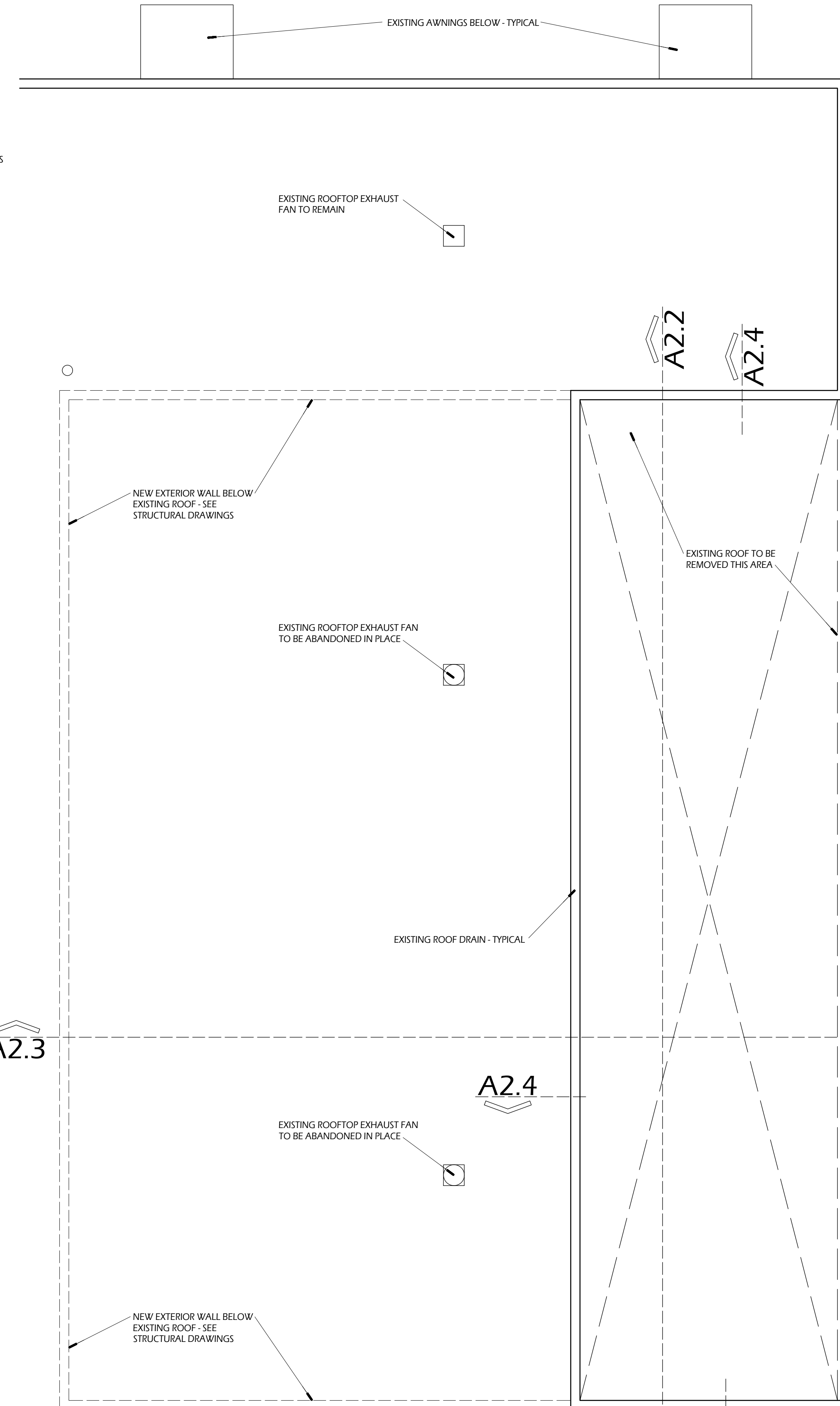
A2.3 SECTION
1/8"=1'-0"



A2.2 SECTION
1/8"=1'-0"



A2.1 NORTH ELEVATION
1/8"=1'-0"



- NOTES:
- REFER TO TPO PREPARATION GUIDELINES FOR PROPER SURFACE TREATMENT OF ALL MATERIALS PRIOR TO APPLICATION OF MATERIALS.
 - BEFORE APPLICATION OF FLASHING MEMBRANE, FILL VOIDS WHERE ROOFING MEMBRANES TERMINATE AT PENETRATIONS.
 - REFER TO TPO CUTTING RECOMMENDATIONS FOR CONFIGURATIONS, CUTTING, FOLDING, AND LAPPING TECHNIQUES.
 - REQUIREMENTS AND RECOMMENDATIONS DETAILED IN TPO SPECIFICATIONS AND THE INSTALLERS GUIDE SHALL APPLY IN ADDITION TO THE ABOVE DRAWING.

ROOF PLAN
1/8"=1'-0"

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